



## PCLS Lakewood Interim Library Prefabricated Building

### DESIGN INTENT SET – ADDENDUM NUMBER 3

ISSUED: January 10, 2023

This Addendum supersedes and supplements all portions of the Design Intent Documents dated December 21, 2022, with which it concerns. The Addendum becomes part of the Contract Documents upon issuance. Receipt of the addendum must be acknowledged on bid for bid to be considered valid.

This Addendum includes the following Sections and Attachments:

Section 1: Bidder Questions

Section 2: Bid Document Clarifications, Revisions, and Additions

Attachments

#### SECTION 1: Bidder Questions

- 1 **Question:** Don't see MC cable listed as acceptable for branch circuits. Is this an approved option?  
**Answer:** Yes, MC cable is approved for branch circuits.
  
- 2 **Question:** Are the following the accurate counts for the light fixtures?:
  - a Fixture L1: 6@8', 11@11', 4@4'
  - b Fixture L2: 7 fixtures
  - c Fixture L3: 8 fixtures
  - d Fixture L4: 4 fixtures
  - e Fixture L5: 6 fixtures
  - f Fixture L6: 6 fixtures
  - g Fixture L7: 4 fixtures
  - h Fixture L8: 32 fixtures
  - i Fixture L9: 1 fixture
  - j Fixture L10: 3 fixtures



k Fixture L11: 2 fixtures

**Answer:** The counts for Fixtures L1 through L10 are correct. There is no L11 fixture; there is an XL1 fixture with quantity 2 fixtures.

3 **Question:** What do the circles indicating at the Reading Room acoustic panel ceiling?

**Answer:** The circles are custom-shaped painted acoustic panels mounted between exposed joists.

4 **Question:** Staging of modules and placement of crane would most likely be in the intended parking lot area. This will mean the paving, curbs, and sidewalks, including those around the building, will have to be placed after the building is placed on the foundation.

**Answer:** The intent is that the parking paving would be able to support equipment and staging. Soils and landscaping would be installed after the modules are erected.

5 **Question:** Modified bituminous membrane roofing is very uncommon for modular buildings, as it would typically mean installing a temporary roof on the modules during manufacturing and then once the building is erected on-site, removing the temporary roof and site-installing the specified roof. Is installing a TPO or EPDM membrane roof an acceptable alternate for this building?

**Answer:** Yes, TPO or EPDM membrane are acceptable alternates. A minimum 10-year warranty is required.

6 **Question:** In order to achieve the desired ceiling heights, the roof beams for the facility will likely have to extend above the roof decking. Which will require individual scuppers and rain drains for each set of modules running east to west.

**Answer:** The design intent is that the continuous insulation above the roof deck would span over the roof beams, allowing for a single roof plane.

7 **Question:** Are Metal Sales TL-1222 and TL-17D acceptable alternates for the siding panels?

**Answer:** No, these alternates are not accepted.

8 **Question:** Division 061000 calls for all wood structure and framing, Division 092116 refers to non-structural metal framing. It would be our intent to provide/install wood framing for all of the framing. Is this acceptable?

**Answer:** It is the bidder's choice whether to use wood framing, metal framing, or a combination thereof.

9 **Question:** Why fire stopping on wall penetrations, when there are likely no fire-rated wall assemblies and the building is sprinkler system?

**Answer:** Firestopping information is included in case any rated assemblies are required.



- 10 **Question:** What is the turnaround time for payments from receipt of billings?  
**Answer:** Net 30 days.
- 11 **Question:** Are monthly progress billings/payments an option?  
**Answer:** Yes, dependent upon an approved schedule of values.
- 12 **Question:** What is the intent for air distribution from the rooftop units? Typically, with a 24" crawlspace from ground to bottom of joists and mid-span beams/post there is only 16" under the floor to work with which is tight for plumbing manifolds let along any ducting for HVAC or DOAS.  
**Answer:** Air distribution may be accommodated on top of the roof or underfloor in the crawlspace at the bidder's option. The crawlspace can be deepened as necessary to accommodate underfloor ducting.
- 13 **Question:** What about using spiral ducts in the ceiling space? 8-ton units are going to require very good-sized ducts.  
**Answer:** Spiral ducts are permissible above the acoustic ceiling in the office spaces and above the roof in the meeting and reading room spaces. No ducts may be visible as detailed in the Mechanical Design Narrative.

## SECTION 2: Bid Document Clarifications, Revisions, and Additions

- 1 **Sheet AS000**  
**Clarification:** Area of roof mechanical equipment revised to match mechanical drawings.
- 2 **Sheet A102**  
**Clarification:** Area of roof mechanical equipment revised to match mechanical drawings.
- 3 **Project Manual 000300**  
**Revision:** Bidding period extended by 1 week. Schedule revised as follows:  

|                               |                           |
|-------------------------------|---------------------------|
| Last submission of questions: | January 16, 2023, 4:00 pm |
| Answered by:                  | January 18, 2023          |
| Bids due:                     | January 24, 2023, 2:00 pm |
| Bid opening:                  | January 24, 2023, 3:00 pm |

  
Revisions to anticipated project timeline to follow.



Summary of Enclosures:

- 1 Drawing sheets as noted above

END OF ADDENDUM NUMBER 3

PROJECT  
**LAKEWOOD INTERIM LIBRARY**

LOCATION  
**10202 Gravelly Lake Dr SW  
Lakewood WA 98499**

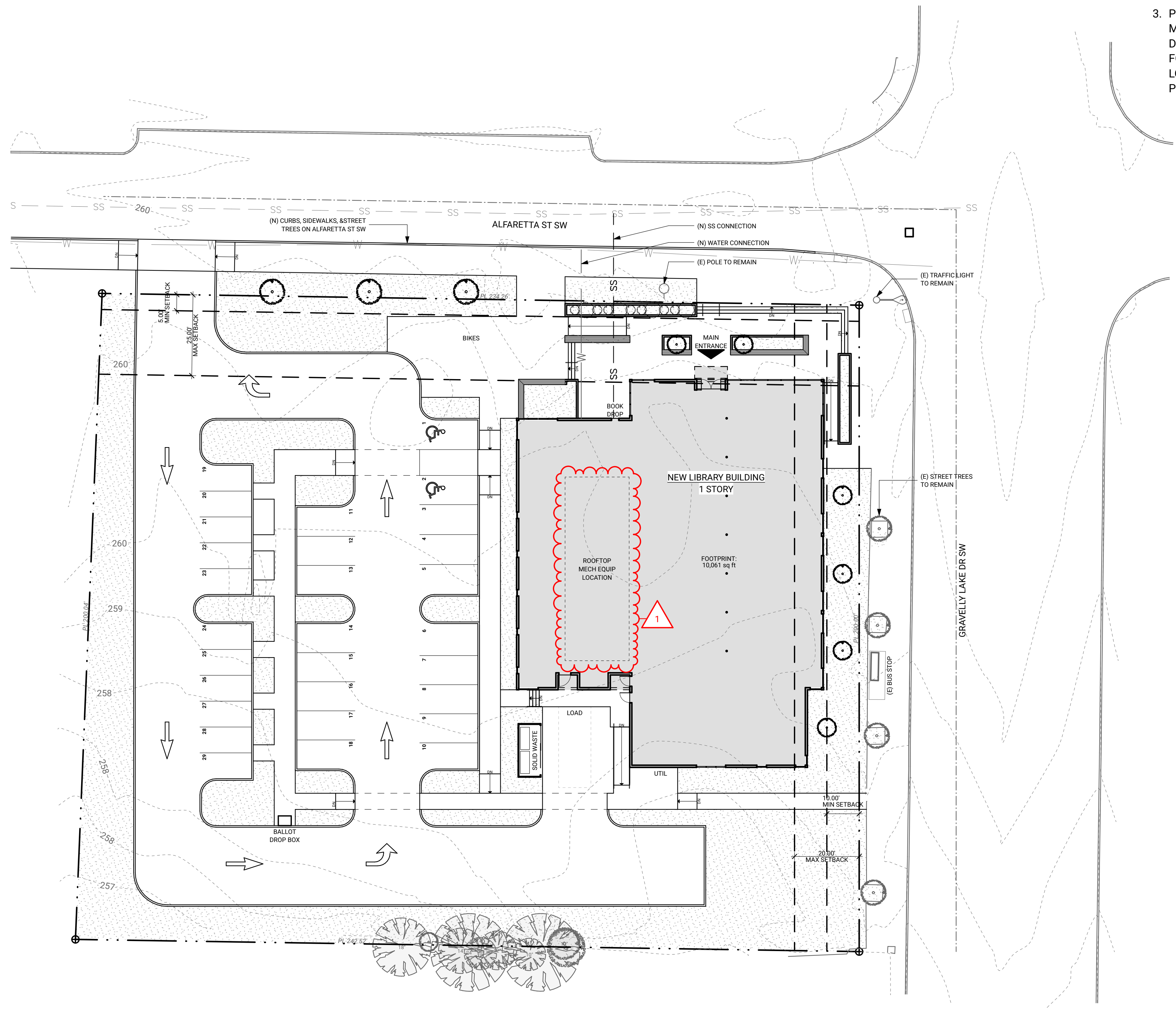
PREPARED FOR  
**PIERCE COUNTY LIBRARY SYSTEM**

| REVISION | DATE    | NAME        |
|----------|---------|-------------|
| 1        | 1/10/23 | ADDENDUM #3 |
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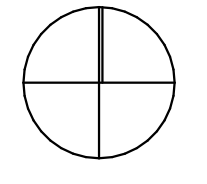
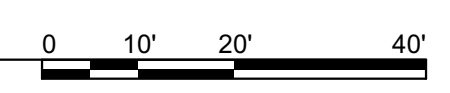
ARCHITECT STAMP  
**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**SITE PLAN NOTES**

1. PRE-FABRICATED BUILDING MANUFACTURER IS RESPONSIBLE FOR THE DOCUMENTATION, PERMITTING, CONSTRUCTION, DELIVERY, AND INSTALLATION OF ALL COMPONENTS OF THE NEW LIBRARY BUILDING. PRE-FABRICATED BUILDING MANUFACTURER IS RESPONSIBLE FOR FINAL TIE-INS TO UTILITY STUBS AT TIME OF DELIVERY.
2. SITE WORK, INCLUDING FOUNDATION WALLS, PLAZAS, RAMPS, STAIRS, LANDSCAPING, AND PARKING, IS BY OTHERS.
3. PRE-FABRICATED BUILDING MANUFACTURER SHALL COORDINATE DIMENSIONS, REQUIREMENTS FOR FOUNDATIONS AND UTILITIES, AND LOADS IMPOSED WITH DESIGN TEAM PRIOR TO STARTING CONSTRUCTION.



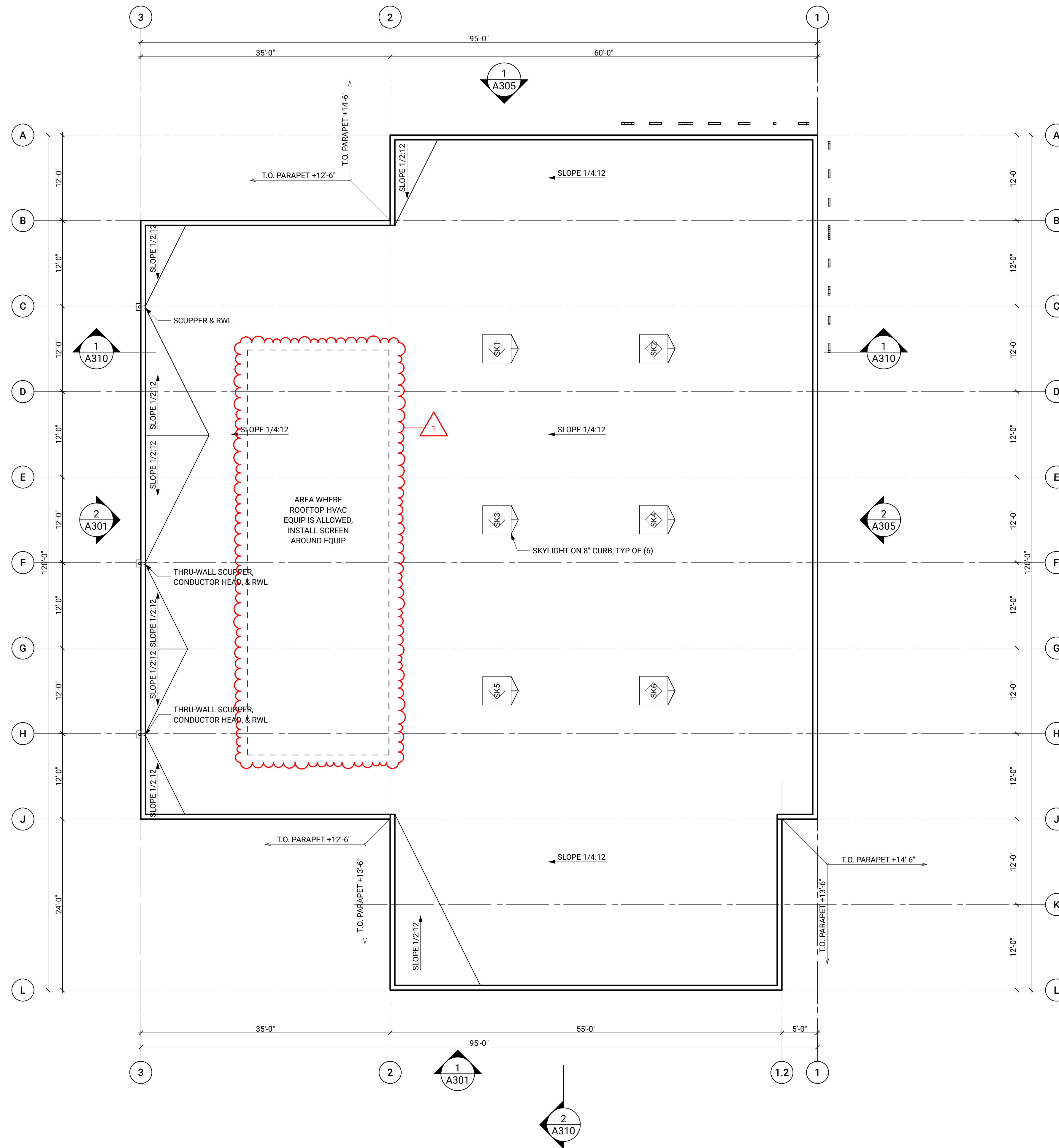
**1 SITE PLAN (FOR REFERENCE ONLY)**  
SCALE: 1" = 20'



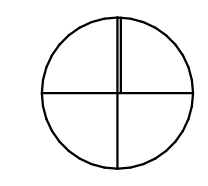
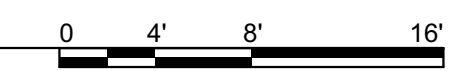
**ARCHITECTURAL SITE PLAN**  
12/21/22

DESIGN INTENT FOR  
PREFABRICATED BUILDING

**AS000**



**1**  
A102 **ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**ROOF PLAN GRAPHIC LEGEND**

**ROOF PLAN NOTES**

1. ROOF SHALL BE SLOPED FOR POSITIVE DRAINAGE, MINIMUM 1/4" PER FOOT. INSTALL CRICKETS AS REQUIRED FOR POSITIVE DRAINAGE, MINIMUM 1/2" PER FOOT.
2. ROOF MEMBRANE SHALL UPTURN 8" MINIMUM AT ROOF PENETRATIONS, EQUIPMENT CURBS, SKYLIGHTS, AND PARAPETS.
3. RWL SHALL BE SCHEDULE 40 PIPE.
4. PRE-FABRICATED BUILDING MANUFACTURER SHALL VERIFY ROOF DRAINAGE CALCULATIONS IN ACCORDANCE WITH UPC AND CITY OF LAKEWOOD AMENDMENTS. COORDINATE ANY DRAINAGE DESIGN CHANGES WITH ARCHITECT.

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design  
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PROJECT  
**LAKEWOOD INTERIM  
LIBRARY**

LOCATION  
**10202 Gravelly Lake Dr SW  
Lakewood WA 98499**

PREPARED FOR  
**PIERCE COUNTY  
LIBRARY SYSTEM**

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ARCHITECT STAMP  
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**ROOF PLAN**

12/21/22

DESIGN INTENT FOR  
PREFABRICATED BUILDING

**A102**

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